



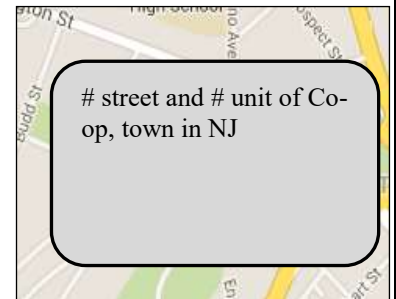
4 Seasons Home Inspection, LLC
 150 Maple Avenue, #128, South Plainfield, NJ 07080
www.4SeasonsHI.com 1-877-547-7383

Mr. Buyer
Apt 209 street
Jersey City, NJ 07310

Please carefully read the following inspection report in its entirety and the Scope of Inspection. The inspection was a visual inspection and performed accordingly to the New Jersey Standards of Practice 13:40-15.16 in readily accessible areas at time of inspection. Inspection behind walls, ceilings, flooring or other covered surfaces is excluded from a visual home inspection. That would involve destructive measures to see behind them. A copy is emailed to you if email is available and also enclosed with your hard copies for your review if paper copy requested. The exterior and common areas is the understood to be the Co-op or Association's responsibility, therefore it is not evaluated. Obtain the Master deed to define and understand responsibilities. If there are any exterior comments in the report, they are made as a courtesy to the client. The customer can request the exterior inspection for an additional fee. Please read all addenda and supplementary attachments. Other inspection reports such as Wood Destroying Insect (Form NPMA-33) are also included with your hard copies if applicable. Pursuant to 13:40-15.2 Definitions "Home inspection report," all items in report must not be ignored where recommendations made regarding the need to repair, replace or monitor a system or component, or to obtain examination or evaluation and analysis by a qualified professional, tradesman or service technician. Please call us with any questions or concerns that you may have so that they may be promptly answered before your closing. If recommendations not acted upon or followed up with sellers before closing, it will be solely your responsibility for repairs and costs incurred by not following report recommendations.

RECEIPT

Inspection Date: March 14, 2014 10:30am-12:30pm
 Client Name: name (buyer@aol.com)
 Emails: lawyer@gmail.com, realtor@aol.com
 Inspection Address: # Condo, street, town, NJ xxxxx
 Inspected by: Linda Geczi home inspection lic. #24GI00061500



BUILDING DATA

Approximate Age: ~1920/100+ yrs.
 Style: Condo, Converted Co-op
 Main Entrance Faces: S
 State of Occupancy: Occupied
 Weather Conditions: Cold, 28-30°F
 Ground cover: damp, residual snow

Home Inspection:	\$----.00
Termite:	INCL.
Radon	\$----.00
Total:	\$ ----.00

Paid by: check #1138

Cc: lawyer, Esq.
 Cc: realtor

Main Concerns (p.2) and detailed Summary follows this page (3-10)

MAIN CONCERNS: Recommend qualified contractors or licensed professionals further evaluate, address and/or make repairs before closing. Responsibilities of repairs and negotiations are not part of a home inspection and should be discussed with your Attorney before closing on property.

1. **CHIMNEY/FLUE/LEAKS (fire/life/safety):** Have a *chimney contractor and licensed plumber* evaluate the chimney and appliances (boiler & hot water heater), fireplace(s) and advise on all repairs, liners, etc.; fire/life/safety concerns. Boiler should be serviced; poorly maintained. Ask Co-op management who is responsible for chimney repairs/liner when shared by two condos. There was water stains on chimney in kitchen; recommend a roofer or building contractor evaluate. There were water stains around chimneys or adjacent to chimneys in closets (kitchen and bedroom. Follow-up with Co-op to see who is responsible for roof, gutter, exterior repairs affecting the interior of condo.
2. **WINDOWS (safety/installation):** There were window concerns throughout the home. There was observed vapors seals, leaking/water stains, dropping on their own (hand/finger hazards), canted/improperly installed (large gaps/not closing/drafts), etc. Have a *window installer* and carpenter or building contractor evaluate all windows and make repair & rule out concealed water damage. Co-op who is responsible for exterior of windows (ex- framing, trim, flashings, etc.) is repairs needed on exterior.
3. **PLUMBING (leaking/habitability):** There was leaking on kitchen sink drain basket/drains, drain assembly and water supply lines were wrapped in foil & stained. The drain in main bathroom was installed with flexible piping; tend to leak, clog and considered handyman or improper. Bathroom tub knobs unconventional; water getting behind handles. Have a *licensed plumber* evaluate plumbing concerns.
4. **OIL TANK(S):** Rule out any possibility of a buried oil tank on property before closing to be certain no tanks on property. If lack of documentation, recommend a property tank sweep. Check with township for removed tanks and permits.
5. **EXTERIOR/LEAKING:** Contact Co-op for Roof and exterior inspection/evaluation/responsibilities/repair of leaks; visible water staining in the interior around chimneys, ceilings/closets, etc. Exterior or common areas not part of inspection.

OTHER concerns: (Common Areas)

1. Basement is a common area for mechanicals to all condos. There were incidental observations while in the basement inspecting the mechanicals and electrical panel for the first floor condo only. Follow-up with the Co-op to see who is responsible for evaluating/inspecting the basement, crawl, structure, wood destroying insects, **Fire history** & structural repairs, improper door framing, roof, grading/drainage, etc.
2. Understand all shared responsibilities when owning a Co-op such as shared expenses; roofing, gutters, exterior, grading, common spaces, decking, porch, etc. and how/when are they inspected and maintained to preserve the integrity of each condo unit.

SUMMARY

Repairs are recommended for any comments or defects that are stated in this report. Every home must be maintained and will require repairs. Problems will occur and things will break. This report is designed to help reduce the possibility, but will not eliminate them from happening. Issues can and will arise at any time. Budget accordingly. Recommend checking with local authorities for permits on additions and alterations. ***Please be advised that it is important to read the entire report and the remarks pages that are sent separately to the client. These remarks pages contain important maintenance information that the client needs to be aware of.*** All homes will need repairs, routine maintenance and upgrades over the course of its life. Addressing plumbing, heating, electrical and other mechanical problems or issues as they occur, with qualified contractors, should be done to keep home maintained properly. It is recommended to obtain township permits for history of home. Recommend a "Home Warranty." Roof leaks are number one cause of water damage to interior of home. Damage can often be concealed inside walls of interior and often revealed either when renovations are done or when water issue is ongoing for a period of time. Water damage can include structural as well as environmental manifestations such as mold and mildew among others. All roofs should be inspected yearly, gutters cleaned several times a year. These systems must be maintained to provide a water tight cladding to protect the home. Often a damage found does not necessarily correspond to the roof directly above, but at some other part of the roof. Water can travel below the surfaces of roof and end up in any number of places that are hidden or concealed. A general visual home inspection cannot open up walls, ceilings, flooring or guess what is behind them. This uncertainty is always possible when roof, flashing, siding and all exterior systems are not maintained.

"If there is anything in the report that you do not understand you must contact us promptly prior to closing. If not addressed, any ignored item(s), misunderstood or overlooked as to their importance and implication(s,) can and frequently do, result in negative outcome and incur costs to repair or replace." Please read **REMARKS addendum** as it is part of the report and contains important information. Any areas reported as inaccessible and not inspected or evaluated must be made accessible and inspected prior to the closing.

All items must be addressed and repaired prior to closing.

* Items listed in this report may inadvertently have been left off the Summary Sheet. Customer should read the entire report, including the Remarks. Boxed area may have been checked or unchecked inadvertently- written comments are most important and purposely written into report.

EXTERIOR/ELECTRICAL/A/C/HEAT PUMP/GARAGE: Follow-up with Co-op rules to see who is responsible for exterior (roof, gutters, etc.); noticed roof was older and near or past expected life. There were water stains observed in the interior of home (kitchen and master bedroom) around the chimneys. Gutters/drainage should be addressed; driveway runs down side of house. Gutters should be directed away from foundation in general to avoid seepage in basement. seepage observed in the common basement. The chimney on right had two flues and each flue was used for two Co-op units. There were drafting concerns with the chimney used for this unit (1st floor) and (basement unit); follow-up to see who is responsible for the shared flues and repairs. See heating & plumbing section comments; chimney/drafting.

CONCERNS:

- 1. It was observed while walking on property that roof was older or at or past expected life. There were several abandoned chimneys and fireplaces in home. There were water stains in the interior around or adjacent to the chimneys; further evaluate all water sources by roofer or contractor. Follow-up with Co-op to see who is responsible for exterior evaluations and repairs that are affecting the condo interior before closing.**

KITCHEN: There is sloped flooring; inaccessible below this unit (basement Co-op). Missing a stove knob; replace knob. All gas burners and oven went on when tested. Clean exhaust fan filter as needed; consider a charcoal filter if using cooking oils or frying. The sink drain basket and straight pipe/drain assembly was leaking; heavily puttied and water going onto bottom of cabinet shelf. Have the dark staining checked by contractor for mold or water damage; mold testing/inspection/identification is not part of a home inspection. There were water supply lines covered or wrapped with aluminum foil and stained; have evaluated. Recommend a licensed plumber evaluate plumbing and make all repairs. Recommend insulating piping and drains to avoid freeze damage; two cold walls. Consider keeping lower cabinet door partially open in cold weather to get heat under sink for added measure. Older kitchen often had a vented door to allow heat under sink to keep warm. The window drops on its own; hand/finger safety hazards. There is a stackable washer/dryer in kitchen (not tested or inspected); gas hook-up visible. See laundry section comments. There were water stains on chimney in kitchen; have roofer evaluate exterior and make all needed repairs. Follow-up with Co-op for all rules about exterior repairs (roof, flashings, chimney, etc.).

CONCERNS:

- 1. The sink drain basket and straight pipe/drain assembly was leaking; heavily puttied and water going onto bottom of cabinet shelf. Have the dark staining checked by contractor for mold or water damage; mold testing/inspection/identification is not part of a home inspection. There were water supply lines covered or wrapped with aluminum foil and stained; have evaluated. Recommend a licensed plumber evaluate plumbing and make all repairs. Recommend insulating piping and drains to avoid freeze damage; two cold walls.**
- 2. Contact Co-op for roof and exterior inspection/evaluation/responsibilities/repair of leaks; visible water staining in the interior around chimneys, ceilings/closets, etc. Exterior or common areas not part of inspection.**
- 3. The window drops on its own; hand/finger safety hazards. Have a window installer and carpenter evaluate all windows in home; see window section comments.**





Figure 1 Leaking under sink from sink drain basket (heavily puttied), and drain assembly; have licensed plumber evaluate and repair. Have dark staining on cabinet bottom shelf further evaluated for mold. Identification, testing, and inspection of environmental or mold hazards is beyond the scope of a home inspection.

LAUNDRY in Kitchen: There is a stackable washer dryer in kitchen. Recommend replacing the flexible metal dryer hose yearly for fire safety. Clean dryer vent and replace flexible metal dryer hose at least yearly for fire safety.

MASTER BATH: The window has a vapor seal and water stains/leaking around frame. Recommend a window installer evaluate window and advise on repair/replacement. Have a carpenter or contractor evaluate water stains/leaking and make all repairs. Recommend caulking tub/shower/wall/floor junctures to maintain water tight seals. Recommend adding outlets if more power needed; the multipliers or extension cords are considered a fire hazard. The tub knobs extend out too far when opened up and water getting behind faucets and/wall. The drain in main bathroom was installed with flexible piping; tend to leak, clog and considered handyman or improper. Have a licensed plumber evaluate fixtures and advise.**

CONCERNS:

1. Window had vapor seal break, water stains and leaking around window frame; have window installer and carpenter or contractor evaluate and advise on all repairs/damage.
2. Bathroom tub knobs unconventional; water getting behind handles.** The drain in main bathroom was installed with flexible piping; tend to leak, clog and considered handyman or improper. Have a licensed plumber evaluate all plumbing concerns and make repairs/corrections.

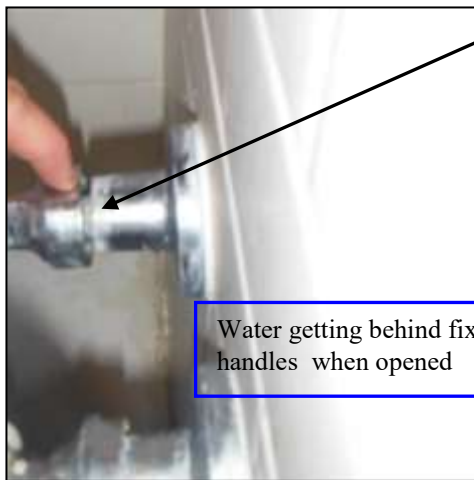


Figure 2 Unconventional/handyman or improper drain installation. Water getting behind the tub faucet handles; corrosion & calcium build-up. Have a licensed plumber evaluate and make all plumbing repairs.



Figure 3 Water stains/leaking around window frame and vapor seal breaks; have window installer evaluate and carpenter evaluate window and advise on all damage & repairs. See window section comments.

LIVING ROOM: There is a fireplace in this room; should not be used unless approved by management and chimney contractor evaluation. Have a chimney contractor evaluate along with township to qualify and advise on repairs needed to restore fireplace for use. Do not use until inspected and repaired. Consider adding more outlets for electronics. The fan was installed in ceiling; make sure there is a fan box for proper installation. The windows are dropping on their own; hand/finger hazard. There were gaps and water stains on the upper windows in this room and to the left in hallway just before the kitchen. There were similar conditions on all windows in home; vapor seal breaks, gaps, water stains, canted/improper installations, etc. See window section comments. Recommend a window installer and carpenter or building contractor evaluate all windows in home and make repairs where needed. Rule out any concealed water damage where leaking around windows or frames. Ask Co-op who is responsible for exterior of windows (ex- framing, trim, flashings, etc.) is repairs needed on exterior.

CONCERNS:

- 1. Have all windows in home evaluated/repairs by window installer and carpenter or building contractor before closing. Ask Co-op who is responsible for exterior of windows (ex- framing, trim, flashings, etc.) is repairs needed on exterior. Have all yellow stains/water stains checked around windows and rule out any damage.**

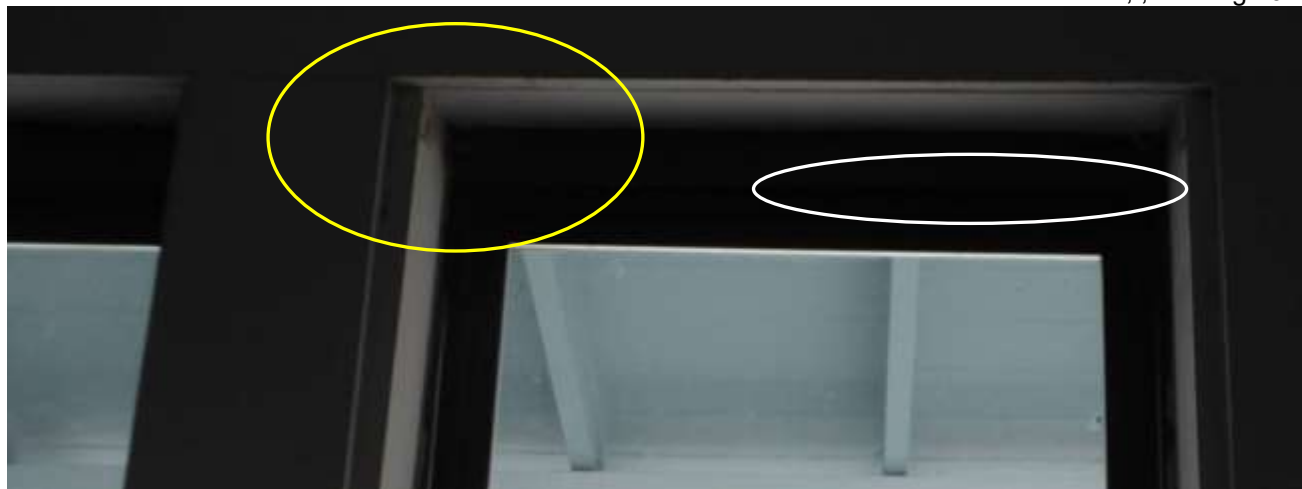


Figure 4 Example of water stains and gaps on windows in home where improperly installed and canted. See window section comments.

MASTER BEDROOM: There were vapor seal breaks and dropping window (unsafe); have all windows in home evaluated/repared. There is a Verizon box; should be plugged into a GFCI outlet. There were water stains inside closet adjacent to chimney; have evaluated/repared. Also see water stains- kitchen section comments. See chimney section comments; do not use any chimney or fireplace unless certified and properly restored for fire/life/safety. Follow-up with Co-op to see who is responsible for leaking into interior from chimneys, roofing, window frames, flashings, etc. Recommend removing items in closets or where storage/drapes/curtain/etc. to make full access and check for all interior leaks and have contractor repair all leaks.

CONCERNS:

1. Follow-up with Co-op to have roof or exterior evaluated to determine all sources of leaking into interior; staining in closet adjacent to chimney. See kitchen section; water stains on chimney. See exterior section comments. Recommend removing items in closets or where storage/drapes/curtain/etc. to make full access and check for all interior leaks and have contractor repair all leaks.
2. There were vapor seal breaks and dropping window (unsafe); have all windows in home evaluated/repared.



Figure 5 Water stains observed in interior of home especially around chimneys or adjacent to them. Have a roofer or building contractor evaluate all water sources and make repairs. Follow-up with Co-op to see who is responsible for exterior. Roof, gutters, flashings, etc. should be evaluated to determine all sources of leaking.

#2 BEDROOM : Have a window installer evaluate all windows and throughout home; similar concerns (dropping/safety hazard, etc.) See window section comments. The wall switch was broken and outlet by bed is loose; have electrician evaluate/repair for safety. Door missing on closet; curtain added.

CONCERNS:

1. **Have a window installer evaluate all windows in home and make repairs.**
2. **Have electrician evaluate broken switch and loose outlet(s) for safety.**

WINDOWS/FIREPLACES/HALL/ATTIC: There were window concerns throughout the home. There was observed vapors seals, leaking/water stains, dropping on their own (hand/finger hazards), canted/improperly installed (large gaps/not closing/drafts), etc. Have a window installer and carpenter or building contractor evaluate all windows and make repair & rule out concealed water damage. Ask Co-op who is responsible for exterior of windows (ex- framing, trim, flashings, etc.) is repairs needed on exterior. There is an old fireplace in hallway; sealed. There is a fireplace in living room with top mount damper on a pull chain. Recommend having a chimney contractor and the township inspect and advise on use and safety. Do not use the fireplace unless it is certified for use and all repairs/liners made for fire safety. There were a few chimneys in home; all chimneys should be inspected by chimney contractor. Chimneys not in use or unsafe should be properly terminated and sealed. It is recommended to remove exterior mounted chimney or remove below roofline if interior chimney(s) not in use or abandoned. Have the chimney contractor evaluate all chimney and advise on proper termination and repairs/liners on chimney/flues in use for fire/life safety. Have a chimney contractor and licensed plumber evaluate the chimney and appliances (boiler & hot water heater) and advise on all repairs, liners, etc.; fire/life/safety concerns. Ask Co-op management who is responsible for shared chimney repairs. See heating & plumbing comments.

CONCERNS:

1. **Have a chimney contractor and licensed plumber evaluate the chimney and appliances (boiler & hot water heater) and advise on all repairs, liners, etc.; fire/life/safety concerns. Ask Co-op management who is responsible for shared chimney repairs. Have fireplace evaluated/repared before using; do not use until inspected and certified for fire/life/safety. Water stains observed around the chimneys in home or adjacent in closets/ceilings/walls; follow-up with Co-op for a roof /exterior inspection to determine all water sources & repairs.**
2. **Have the chimney contractor evaluate all chimney and advise on proper termination and repairs/liners on chimney/flues in use for fire/life safety. Follow-up with Co-op to see how shared chimney/flue repairs/expenses are handled when repairs needed or discovered by an owner of one condo and affects another condo.**
3. **There were window concerns throughout the home. There was observed vapors seals, leaking/water stains, dropping on their own (hand/finger hazards), canted/improperly installed (large gaps/not closing/drafts), etc. Have a window installer and carpenter or building contractor evaluate all windows and make repair & rule out concealed water damage. Ask Co-op who is responsible for exterior of windows (ex- framing, trim, flashings, etc.) is repairs needed on exterior.**

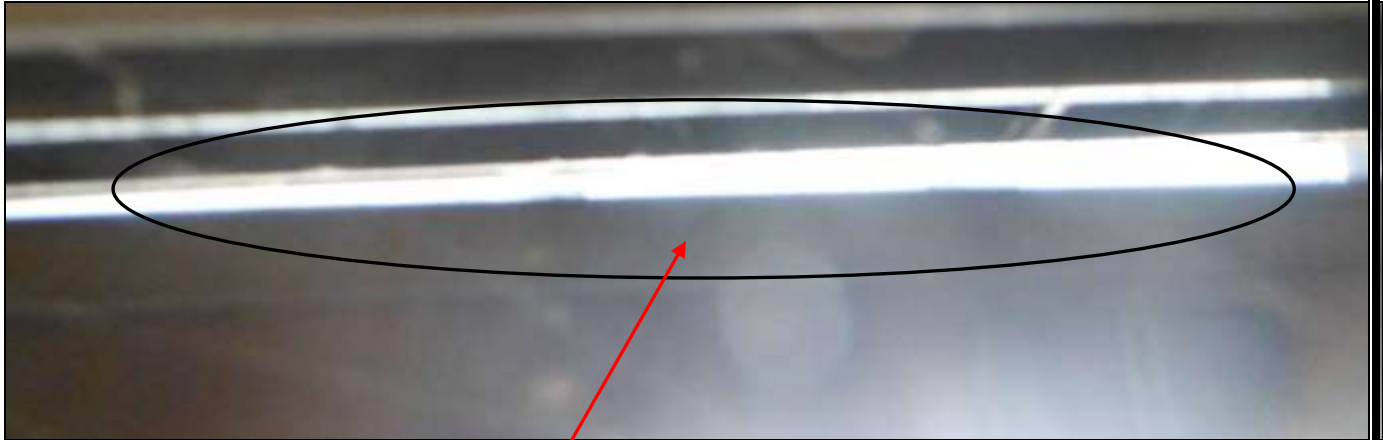


Figure 6 Window gaps, canted frames, and improper installation.



Figure 7 example of vapor seal breaks; have window installer Evaluate/repair and rule out any concealed damage by carpenter or building contractor.

BASEMENT (Common space, not part of inspection)* : The basement is common space; not sole ownership to this condo unit. The following were observations and incidental comments while in basement inspecting the boiler, hot water heater, electrical panel and water main for the condo unit on first floor.* The access panel to crawl was sealed up with masonry; should have access in case of plumbing, electrical repairs and to inspect for wood destroying insects. There was observed fire damage on sills, joists and subflooring as well as structural repairs. The entry door to basement was framed improperly. There was seepage; efflorescence, water stains, moisture stains, etc. The gutters, grading & drainage should be corrected to avoid water into basement which in turn will affect the building structure and attract wood destroying insects. There was carpenter ant frass observed in basement and should be treated by a licensed Pest Company. Follow-up with the Co-op to see all rules and responsibilities as an owner in the building and who is responsible for evaluating the basement, crawl, structural, etc. There was a large circular cement mound on floor near crawl; follow-up with Co-op to rule out a cistern or other cavity to ensure safety.

CONCERNS:

- 1. Basement is not owned by this condo unit; not part of this first floor condo inspection.* There were incidental observations while in the basement inspecting the mechanicals and electrical panel. Follow-up with the Co-op to see who is responsible for evaluating/inspecting the basement, crawl, structure, wood destroying insects, *fire history & repairs, improper door framing, roof, exterior, etc.***

CRAWL SPACE : The access to crawl in basement was bricked or cemented up; inaccessible. The basement and crawl are common areas or not owned by this first floor Co-op unit; not part of this home inspection.* The crawl should be accessible for many reasons; plumbing, electrical, termite inspections, etc. Follow-up with Co-op/management to make sure these areas are accessible to contractors performing work in home to units. Comments are incidental due to inspecting the mechanicals in basement for the first floor condo only.

PLUMBING: The hot water heaters were not labeled in basement. It appears the GE 50gal goes to the first floor condo; verify and mark units in basement. The hot water heaters and boilers for the first floor and basement condos use share the same flue; condensate drip marks on all appliances and venting. Have a chimney contractor and licensed plumber evaluate the chimney and appliances (boiler & hot water heater) and advise on all repairs, liners, etc.; fire/life/safety concerns. Ask Co-op management who is responsible for shared chimney repairs. There was leaking on kitchen sink drain basket/drains, drain assembly and water supply lines were wrapped in foil & stained. The drain in main bathroom was installed with flexible piping; tend to leak, clog and considered handyman or improper. There was observed mineral or calcium build-up on faucets, fixture or plumbing in home; indicative of hard water. Homes with hard water will often need a water softener system to avoid damaging mineral buildup or corrosion to plumbing supply lines, drains and fixtures. Confer with a water softener company and plumber if there is hard water in the home. Testing for hard water is not part of an inspection. If a home is left vacant for a period of time, it can clog fixtures resulting in loss of flow, hot or cold water. Toilets, bathrooms, washers, dishwashers, hot water heaters or any other appliance in a home can become damaged or fail because of hard water (calcium or mineral build-up) at any time even after an inspection. Recommend testing water for hardness. Older homes can also have rusty water from street pipes or connections and iron in plumbing pipes such galvanized pipes. These can corrode and rust from inside out and cause leaks, cracks and clogs. All homes will need plumbing repairs (leaks, clogs, corrosion, upgrades, repairs, etc.) at any time in the life of the home. Plan and budget for these repairs and upgrades. Only a licensed plumber should make these repairs. A plumber should evaluate older gate valves, piping, fittings, etc. and advise on upgrades where needed in home to avoid plumbing clogs, leaks or back-ups. Consider water main and sewer main line insurance

CONCERNS:

- 1. There was leaking on kitchen sink drain basket/drains, drain assembly and water supply lines were wrapped in foil & stained. The drain in main bathroom was installed with flexible piping; tend to leak, clog and considered handyman or improper. Have a licensed plumber evaluate/repair plumbing.**

HEATING: The first floor and basement condo units share the same flue for the boilers and the hot water heaters. There was heavy condensate residue on all venting and appliances; drafting concerns. Recommend a chimney contractor evaluate the chimney & flues and advise on all repairs, liners, etc. for fire/life safety. The boiler was very old and no visible maintenance or service tags. Units had soot, rust, leaking air vent, corrosion and condensate residue; poorly maintained/safety concern. Follow-up with Co-op to see who is responsible for chimney/flue repairs, liners, etc. and protocol when the chimney appliance if shared by another condo unit. Recommend a boiler contractor or qualified plumber evaluate the boiler, venting and service the boiler along with the chimney inspection. Rule out any buried tanks on property due to age of home before closing. If no township permits for removed tank(s) or documentation, recommend a property tank scan to be certain there are no buried oil tanks.

CONCERNS:

1. Have a chimney contractor and licensed plumber evaluate the boiler, venting/flue and advise on all repairs and service/maintenance; poorly maintained/safety concerns. Plan and budget for a new boiler due to age of unit.
2. Follow-up with Co-op to see who is responsible for chimney/flue repairs, liners, etc. and protocol when the chimney appliance if shared by another condo unit.
3. Rule out any possibility of a buried oil tank on property before closing to be certain no tanks on property. If lack of documentation, recommend a property tank sweep. Check with township for removed tanks and permits.



Figure 8 White condensate residue; drafting/safety concerns. Rust, leaking air vent, soot, etc.; poorly maintained boiler. Have a boiler contractor service and make repairs; boiler near or past expected life.



Figure 6 Poorly maintained boiler; have a boiler evaluate boiler and advise on repairs/replacement.

COOLING : There were some window A/C unit(s) in window; not recommended to keep in windows over winter or when not in season; drafty and energy concerns/heat loss. Window A/C units produce moisture and may potentially leak into interior walls and window openings. This moisture can cause damage to adjacent structural members; have these removed and check that they are not leaking periodically.

ELECTRICAL: Have a licensed electrician repair broken or loose outlets. Recommend adding more power where needed. Each family has different electrical requirements or needs. The panel is only 50 amps and if more power is needed, discuss needs with electrician and have added. Do not use extension cords, multiplier adapters or power strips to add more power; fire safety concern. If a breaker or circuit is tripped more than once, it is recommended to have an electrician evaluate circuits and have items separated by a licensed electrician. Items such a sump pumps, garage door openers, A/C units, stoves refrigerators or other heavy draw appliances should be on separate dedicated circuits.

CONCERNS:

1. **Have a licensed electrician repair broken switch or loose outlets for safety. The home had very few circuits. If breakers trip more than once, it is recommended to have an electrician evaluate circuits and have items separated, or add more power where needed.**

END OF SUMMARY.

REPORT OVERVIEW

THE HOUSE IN PERSPECTIVE

CONVENTIONS USED IN THIS REPORT- ALL SYSTEMS IN HOME MUST BE SERVICED YEARLY AND PROPERLY MAINTAINED AND UPGRADED AS THEY AGE

SATISFACTORY - Indicates the component is functionally consistent with its original purpose but show signs of normal wear and tear and deterioration and will need maintenance or repairs at any time over its life. Plan and budget for these repairs, replacement and upgrades. Have systems serviced regularly and maintained.

MARGINAL * - Indicates the component needs repairs, upgrade, monitor and/or replacement anytime over its life. Plan and budget for these repairs, replacement and upgrades. Defects exist- have evaluated and repaired.

POOR* - Indicates the component needs repair or replacement now. Defects exist- have evaluated and repaired.

SAFETY HAZARD* - Denotes a condition that is unsafe and in need of prompt attention now

***NOTE:** All observations or comments reported in this written report should obtain examination and analysis by a qualified professional, tradesman or service technician for that concern, defect or repair prior to closing for cost of repair, replacement or upgrade.

THE SCOPE OF THE INSPECTION (READ & UNDERSTAND)

All components designated for inspection in the **New Jersey Standards of Practice 13:40-15.16 in readily accessible areas at time of inspection** except as may be noted in the “Limitations of Inspection” sections within this report. It is the goal of the inspection to put a home buyer in a better position to make a buying decision. This inspection should not be considered as an opinion or as advice as whether or not to purchase the property. Not all recommendations will be identified during this inspection. It is not our job or function to fix or solve a problem. We report on the conditions at time of inspection and recommend a specialist to further evaluate and advise on cost of repairs or remedy. Home inspectors are “Generalists” not experts or builders. A home inspection is not a CODE inspection. ****A certificate of occupancy or habitability should be obtained before closing. Township code officers perform code inspections for that certificate; not home inspectors.*** Code issues may arise that need corrections that are not part of a general home inspection and should be addressed before closing. Unexpected repairs as well as maintenance should still be anticipated. All systems and building structure will age and need repairs regardless of the age of home. Plan and budget accordingly. The inspection is not considered a guarantee or warranty of any kind. It is a snap shot in time and conditions will change with time. A “Home Warranty” is readily available from most realtor offices or on the market to help defray the cost of repairs during the life of a home. We strongly recommend this and all other forms of service plans for HVAC and insurance on sewer and water main lines.

In addition to the NJ standards, please refer to the pre-inspection agreement/contract according to NJAC 13:40-15.15, for a full explanation of the scope of the inspection. All reported items of consideration in this report must be addressed for repair evaluation and cost prior to closing. Any conditions concealed, latent, inaccessible or covered up at time of inspection are NOT the responsibility or liability of the home inspector or company. Walls, ceilings, carpeting, or other forms of coverings or finished surfaces cannot be removed during a non-invasive home inspection. Therefore, to see into walls and below surfaces can only be done with a contractor that can perform invasive inspections. We cannot guess or comment on anything behind coverings and report on non visual or concealed areas. There is always a chance for concealed damage or mold or other structural concerns within walls, floors and ceilings. ***If you are not satisfied with a visual inspection, it is recommended to engage in those services that can open up walls, ceilings or flooring before closing since it cannot be done in a visual home inspection.*** This is under the law in the **New Jersey Standards of Practice 13:40-15.16** for a licensed home inspector in the state of New Jersey.

.We Always Miss Some Minor Things

The intent of the inspection is not to find minor problems or cosmetic items. It is to find major problems or defects. The minor problems that are identified were discovered while looking for more significant problems. We may note them simply as a courtesy.

Not Insurance or Warranty

In conclusion, a home inspection is designed to better your odds. It is not designed to eliminate all risk. For that reason, a home inspection should not be considered an insurance policy or warranty.

EXTERIOR/ELECTRICAL/AC/HEAT PUMP

SERVICE ENTRY

Underground Overhead *Weather head/mast needs repair* Condition: Sat. right side-meters
Exterior outlets: Yes No **Operative:** Yes No *Overhead wires too low*
GFCI present: Yes No **Operative:** Yes No *Less than 3' from balcony/deck/windows*
 Reverse polarity *Open ground* *Safety Hazard*

BUILDING(S) EXTERIOR WALL CONSTRUCTION

Type: Not visible, inside walls Framed Masonry Other
Condition: Satisfactory, overall exterior Marginal Poor Not visible inside walls
 Dirty, clogged or poorly maintained gutters will cause leaks into interior or behind walls. Clean often and checked frequently.

SEXTERIOR DOORS

	<i>Patio</i>	<i>Storm</i>	<i>Entrance</i>	
Weather-stripping:	<input checked="" type="checkbox"/> Satisfactory <input type="checkbox"/> Marginal	<input type="checkbox"/> Poor	<input type="checkbox"/> Missing	<input type="checkbox"/> Replace
Door Condition:	<input checked="" type="checkbox"/> Satisfactory <input type="checkbox"/> Marginal	<input type="checkbox"/> Poor		

EXTERIOR A/C - HEAT PUMP Location(s): N/A

Unit #1 Brand: - Outside shutoff: Yes No Unit #3 Brand: - Outside shutoff: Yes No
 Unit #2 Brand: - Outside shutoff: Yes No Unit #4 Brand: - Outside shutoff: Yes No
 Condition: Satisfactory Marginal Poor Rusted Level: Yes No
 Cabinet/housing rusted Condenser Fins: Damaged Need cleaning Damaged base/pad

GARAGE

None Attached Detached 1-car 2-car 3-car 4-car

GENERAL COMMENTS

EXTERIOR/ELECTRICAL/A/C/HEAT PUMP/GARAGE: Follow-up with Co-op rules to see who is responsible for exterior (roof, gutters, etc.); noticed roof was older and near or past expected life. There were water stains observed in the interior of home (kitchen and master bedroom) around the chimneys. Gutters/drainage should be addressed; driveway runs down side of house. Gutters should be directed away from foundation in general to avoid seepage in basement. seepage observed in the common basement. The chimney on right had two flues and each flue was used for two Co-op units. There were drafting concerns with the chimney used for this unit (1st floor) and (basement unit); follow-up to see who is responsible for the shared flues and repairs. See heating & plumbing section comments; chimney/drafting.

CONCERNS:

1. It was observed while walking on property that roof was older or at or past expected life. There were several abandoned chimneys and fireplaces in home. There were water stains in the interior around or adjacent to the chimneys; further evaluate all water sources by roofer or contractor. Follow-up with Co-op to see who is responsible for exterior evaluations and repairs that are affecting the condo interior before closing.

KITCHEN**COUNTERTOPS**

Satisfactory Marginal *Recommend repair/caulking*

CABINETS

Satisfactory Marginal *Recommend repair/adjustment*

Note: Counter tops, cabinets or other storage built in products vary in quality, construction, manufacturer and brand. Low quality materials such as press board or particle board type products will sag, bow, glue separation, split have separations between units, counter tops and back splashes. This is especially true when items such as microwave, heavy cookware and other counter top appliances are placed on the shelves and counter tops. They will stress the material, often fall apart and become unglued. It is not the inspector's responsibility to judge them, inspect quality or predict their life or resulting product breakdown. This material and similar composite materials is lower quality and will have problems or negative issues. They often result in loose hardware, splits and cracks due to the low product quality. If the material becomes moist or wet it will swell, split, break down and fail. *If you have concerns about your quality of fixtures, brands, manufacturer, appliances, cabinets, counter tops, and other installed products, address them before closing with the selling party. Check all paperwork, manuals and other product literature for specifications, design, construction and warranty.*

PLUMBING COMMENTS

Faucet Leaks: Yes No **Pipes leak/corroded:** Yes No
Sink/Faucet: Satisfactory Corroded Chipped Cracked *Recommend repair*
Functional Drainage: Adequate Poor **Functional Flow:** Adequate Poor
Hot water: Yes No **Cold water:** Yes No

WALLS & CEILING

Condition: Satisfactory Marginal Poor Typical cracks
Moisture stains: Yes No **Where:** around/on chimney

HEATING / COOLING SOURCE

Yes No

FLOOR

Condition: Satisfactory Marginal Poor Sloping Squeaks

APPLIANCES *

(See remarks page) Appliances are NOT GUARANTEED & only tested as found condition at time of inspection (Snap Shot); obtain a Home Warranty from Realtors office or private source to cover appliances. Always check under refrigerators and dishwashers for leaks, damage & mold before closing. Contents of home not manipulated and moved in a visual home inspection.

Disposal Operates: Yes No Oven/Range Operates: Yes No
 Dishwasher Operates: Yes No
Dishwasher Air gap: Yes No N/A **Dishwasher Drain Line Looped:** Yes No Not visible
Outlets Present: Yes No Operable: Yes No
G.F.C.I.: Yes No Operable: Yes No
Open ground/Reverse polarity within 6' of water: Yes No *Potential safety hazard(s)*

NOTE: The Consumer Product Safety Commission, using estimates from 2006 through 2008, says that major appliances caused more than 150,000 residential fires each year, resulting in 3,670 injuries, 150 deaths, and \$547 million dollars in property damage. Go to (<http://www.consumerreports.org>) to see recent recalls.

*** Pursuant to 13:40-15.16 Standards of practice**

l) When inspecting the interior of a residential building, a home inspector shall:

1. Inspect:

v. Household appliances limited to:

- (1) The kitchen range and oven to determine operation of burners or heating elements excluding microwave ovens and the operation of self-cleaning cycles and appliance timers and thermostats;
- (2) Dishwasher to determine water supply and drainage; and
- (3) Garbage disposer

GENERAL COMMENTS

KITCHEN: There is sloped flooring; inaccessible below this unit (basement Co-op). Missing a stove knob; replace knob. All gas burners and oven went on when tested. Clean exhaust fan filter as needed; consider a charcoal filter if using cooking oils or frying. The sink drain basket and straight pipe/drain assembly was leaking; heavily puttied and water going onto bottom of cabinet shelf. Have the dark staining checked by contractor for mold or water damage; mold testing/inspection/identification is not part of a home inspection. There were water supply lines covered or wrapped with aluminum foil and stained; have evaluated. Recommend a licensed plumber evaluate plumbing and make all repairs. Recommend insulating piping and drains to avoid freeze damage; two cold walls. Consider keeping lower cabinet door partially open in cold weather to get heat under sink for added measure. Older kitchen often had a vented door to allow heat under sink to keep warm. The window drops on its own; hand/finger safety hazards. There is a stackable washer/dryer in kitchen (not tested or inspected); gas hook-up visible. See laundry section comments. There were water stains on chimney in kitchen; have roofer evaluate exterior and make all needed repairs. Follow-up with Co-op for all rules about exterior repairs (roof, flashings, chimney, etc.).

CONCERNS:

- 1. The sink drain basket and straight pipe/drain assembly was leaking; heavily puttied and water going onto bottom of cabinet shelf. Have the dark staining checked by contractor for mold or water damage; mold testing/inspection/identification is not part of a home inspection. There were water supply lines covered or wrapped with aluminum foil and stained; have evaluated. Recommend a licensed plumber evaluate plumbing and make all repairs. Recommend insulating piping and drains to avoid freeze damage; two cold walls.**
- 2. Contact Co-op for roof and exterior inspection/evaluation/responsibilities/repair of leaks; visible water staining in the interior around chimneys, ceilings/closets, etc. Exterior or common areas not part of inspection.**
- 3. The window drops on its own; hand/finger safety hazards. Have a window installer and carpenter evaluate all windows in home; see window section comments.**





Figure 9 Leaking under sink from sink drain basket (heavily puttied), and drain assembly; have licensed plumber evaluate and repair. Have dark staining on cabinet bottom shelf further evaluated for mold. Identification, testing, and inspection of environmental or mold hazards is beyond the scope of a home inspection.

LAUNDRY ROOM

ROOM COMPONENTS

Laundry sink: N/A **Faucet leaks:** Yes No **Pipes leak:** Yes No
Hot water: Yes No **Cold water:** Yes No
Cross connections: Yes No **Heat source present:** Yes No **Room vented:** Yes No
Dryer vented: N/A Wall Ceiling Floor Not vented
 Not vented to Exterior *Recommend repair* *Safety hazard*
Electrical: Open ground/reverse polarity within 6' of water: Yes No *Safety hazard*
G.F.C.I. present: Yes No **Operates:** Yes No
Appliances: Washer Brand: Dryer Brand: Water heater Furnace Cluttered
 Always check under washer & dryer for water damage and mold before closing; contents not manipulated or moved in a visual inspection.

Note: Testing/inspecting washer and dryer is not part of New Jersey home inspection.

Washer hook-up lines/valves: Leaking Corroded Not visible
Gas Shut-off Valve: N/A Yes No Cap Needed Safety hazard Not visible
Electrical Set-up : N/A Yes No

GENERAL COMMENTS

LAUNDRY in Kitchen: There is a stackable washer dryer in kitchen. Recommend replacing the flexible metal dryer hose yearly for fire safety. Clean dryer vent and replace flexible metal dryer hose at least yearly for fire safety.

BATHROOM**BATH: MASTER BATH****SINKS / TUBS / SHOWERS**

Faucet leaks: Yes No Loose: Yes No Pipes leak: Yes No
 Fixture(s) Condition: Satisfactory-sink Marginal Poor- tub**
 Hot water: Yes No Cold water: Yes No

TOILET

Bowl Loose: Yes No Operates: Yes No Toilet leaks Cracked bowl/tank Cross connection

SHOWER / TUB AREA / SINK(S)

Material: Ceramic/Plastic Fiberglass Masonite Other
 Condition: Satisfactory Marginal Poor Rotted floors
 Caulk/Grouting Needed: Yes No Where:
 Functional Drainage: Adequate Poor Functional Flow: Adequate Poor
 Whirlpool Operable: N/A Yes No Access panel to pump/motor: Yes No

Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.

WALLS / CEILING / CABINETS

Moisture stains present: Yes No Outlets present: Yes No
 G.F.C.I. Present: Yes No Operates: Yes No
 Open ground/Reverse polarity within 6' of water: Yes No Potential safety hazards present: Yes No

HEATING / COOLING SOURCE

Yes No
 Window/Door: Yes No Satisfactory Marginal Poor
 Exhaust Fan: Yes No Operates: Yes No Noisy: Yes No

GENERAL COMMENTS

MASTER BATH: The window has a vapor seal and water stains/leaking around frame. Recommend a window installer evaluate window and advise on repair/replacement. Have a carpenter or contractor evaluate water stains/leaking and make all repairs. Recommend caulking tub/shower/wall/floor junctures to maintain water tight seals. Recommend adding outlets if more power needed; the multipliers or extension cords are considered a fire hazard. The tub knobs extend out too far when opened up and water getting behind faucets and/wall. The drain in main bathroom was installed with flexible piping; tend to leak, clog and considered handyman or improper. Have a licensed plumber evaluate fixtures and advise.**

CONCERNS:

1. Window had vapor seal break, water stains and leaking around window frame; have window installer and carpenter or contractor evaluate and advise on all repairs/damage.
2. Bathroom tub knobs unconventional; water getting behind handles.** The drain in main bathroom was installed with flexible piping; tend to leak, clog and considered handyman or improper. Have a licensed plumber evaluate all plumbing concerns and make repairs/corrections.

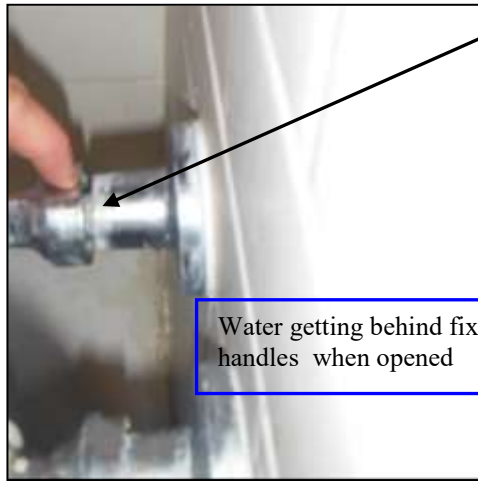


Figure 10 Unconventional/handyman or improper drain installation. Water getting behind the tub faucet handles; corrosion & calcium build-up. Have a licensed plumber evaluate and make all plumbing repairs.



Figure 11 Water stains/leaking around window frame and vapor seal breaks; have window installer evaluate and carpenter evaluate window and advise on all damage & repairs. See window section comments.

LIVING ROOM

LOCATION:

Walls & Ceiling:	<input type="checkbox"/> Satisfactory	<input checked="" type="checkbox"/> Marginal	<input type="checkbox"/> Poor	
	Moisture stains:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Where: around windows/gaps
Floor:	<input checked="" type="checkbox"/> marginal	<input checked="" type="checkbox"/> carpeting	<input type="checkbox"/> Poor	<input checked="" type="checkbox"/> Squeaks <input checked="" type="checkbox"/> Slopes
	Typical cracks:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	
Ceiling Fan:	<input type="checkbox"/> N/A	<input checked="" type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal	<input type="checkbox"/> Poor
Electrical:	Switches: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Outlets: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No Operates: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	Open ground/Reverse polarity:	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Cover plates missing <input type="checkbox"/> Safety Hazard
Heating/Cooling Source:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Holes:	<input type="checkbox"/> Doors <input type="checkbox"/> Walls <input type="checkbox"/> Ceilings
Bedroom Egress Restricted:	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Yes	<input type="checkbox"/> No	
Doors & Windows:	Operational: <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Broken Vapor Seals :	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A
	Locks/Latches Operable: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Missing	<input type="checkbox"/> Cracked Glass

GENERAL COMMENTS

LIVING ROOM: There is a fireplace in this room; should not be used unless approved by management and chimney contractor evaluation. Have a chimney contractor evaluate along with township to qualify and advise on repairs needed to restore fireplace for use. Do not use until inspected and repaired. Consider adding more outlets for electronics. The fan was installed in ceiling; make sure there is a fan box for proper installation. The windows are dropping on their own; hand/finger hazard. There were gaps and water stains on the upper windows in this room and to the left in hallway just before the kitchen. There were similar conditions on all windows in home; vapor seal breaks, gaps, water stains, canted/improper installations, etc. See window section comments. Recommend a window installer and carpenter or building contractor evaluate all windows in home and make repairs where needed. Rule out any concealed water damage where leaking around windows or frames. Ask Co-op who is responsible for exterior of windows (ex- framing, trim, flashings, etc.) is repairs needed on exterior.

CONCERNS:

1. Have all windows in home evaluated/repairs by window installer and carpenter or building contractor before closing. Ask Co-op who is responsible for exterior of windows (ex- framing, trim, flashings, etc.) is repairs needed on exterior. Have all yellow stains/water stains checked around windows and rule out any damage.

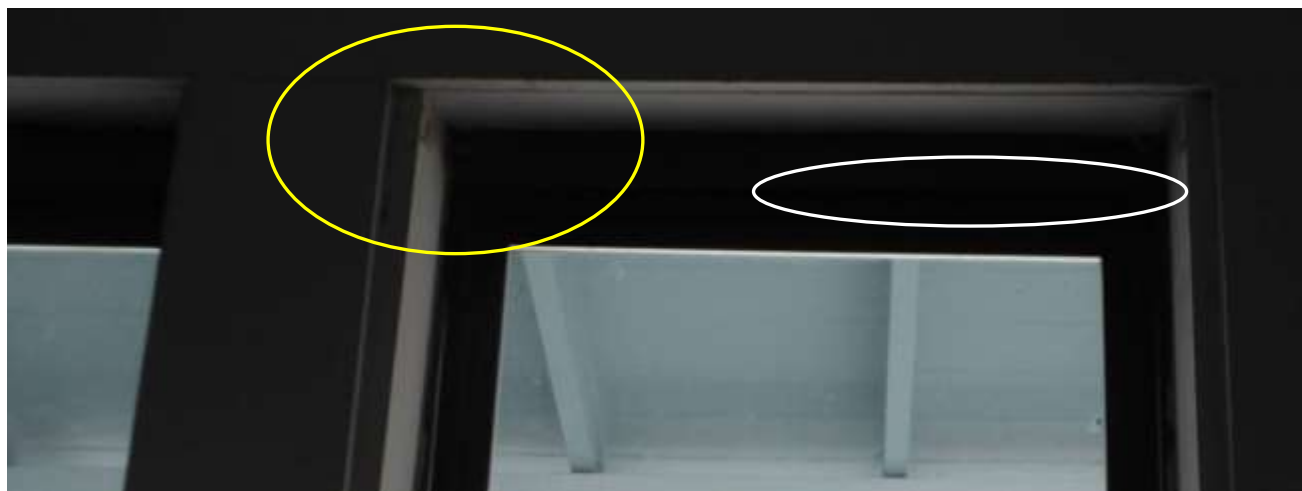


Figure 12 Example of water stains and gaps on windows in home where improperly installed and canted. See window section comments.

MASTER BEDROOM

LOCATION:

Walls & Ceiling:	<input type="checkbox"/> Satisfactory	<input checked="" type="checkbox"/> Marginal	<input type="checkbox"/> Poor	
	Moisture stains:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Where: adjacent to chimney in closet
Floor:	<input checked="" type="checkbox"/> marginal	<input checked="" type="checkbox"/> carpeting	<input type="checkbox"/> Poor	<input checked="" type="checkbox"/> Squeaks <input checked="" type="checkbox"/> Slopes
	Typical cracks:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	
Ceiling Fan:	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal	<input type="checkbox"/> Poor
Electrical:	Switches: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Outlets: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No Operates: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	Open ground/Reverse polarity:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Cover plates missing <input type="checkbox"/> Safety Hazard
Heating/Cooling Source:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Holes:	<input type="checkbox"/> Doors <input type="checkbox"/> Walls <input type="checkbox"/> Ceilings
Bedroom Egress Restricted:	<input type="checkbox"/> N/A	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Doors & Windows:	Operational: <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Broken Vapor Seals :	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
	Locks/Latches Operable: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Missing	<input type="checkbox"/> Cracked Glass

GENERAL COMMENTS

MASTER BEDROOM: There were vapor seal breaks and dropping window (unsafe); have all windows in home evaluated/repaired. There is a Verizon box; should be plugged into a GFCI outlet. There were water stains inside closet adjacent to chimney; have evaluated/repaired. Also see water stains- kitchen section comments. See chimney section comments; do not use any chimney or fireplace unless certified and properly restored for fire/life/safety. Follow-up with Co-op to see who is responsible for leaking into interior from chimneys, roofing, window frames, flashings, etc. Recommend removing items in closets or where storage/drapes/curtain/etc. to make full access and check for all interior leaks and have contractor repair all leaks.

CONCERNS:

1. Follow-up with Co-op to have roof or exterior evaluated to determine all sources of leaking into interior; staining in closet adjacent to chimney. See kitchen section; water stains on chimney. See exterior section comments. Recommend removing items in closets or where storage/drapes/curtain/etc. to make full access and check for all interior leaks and have contractor repair all leaks.
2. There were vapor seal breaks and dropping window (unsafe); have all windows in home evaluated/repaired.



Figure 13 Water stains observed in interior of home especially around chimneys or adjacent to them. Have a roofer or building contractor evaluate all water sources and make repairs. Follow-up with Co-op to see who is responsible for exterior. Roof, gutters, flashings, etc. should be evaluated to determine all sources of leaking.

#2 BEDROOM

LOCATION:

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No Where: Squeaks Slopes
Floor: Marginal carpeting Poor No
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes No Broken Vapor Seals : Yes No N/A
 Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

#2 BEDROOM : Have a window installer evaluate all windows and throughout home; similar concerns (dropping/safety hazard, etc.) See window section comments. The wall switch was broken and outlet by bed is loose; have electrician evaluate/repair for safety. Door missing on closet; curtain added.

CONCERNS:

1. Have a window installer evaluate all windows in home and make repairs.
2. Have electrician evaluate broken switch and loose outlet(s) for safety.

WINDOWS/FIREPLACES/HALL/ATTIC**INTERIOR WINDOWS / GLASS****Condition:** Poor Needs repair Windows drop- hand/finger hazards (See remarks page) Canted/tiled/gaps Water stains/leaking Have carpenter or contractor evaluate all water stains & advise on water damage and repairs Representative number of windows operated Ask if windows under warranty**Evidence of Broken Vapor seals:** Yes Leaking/water stains **Safety Glazing Needed:** Yes No Glazing compound needed Cracked glass Hardware missing Broken counter-balance mechanism**Security Bars Present:** N/A Yes No Not tested Safety hazard Test release mechanism before moving in**FIREPLACE** Safety concerns Location(s): hallway (sealed), living room, bedroom (do not use until certified by chimney contractor and/or township) Recommend having flue cleaned and re-examined**Type:** Gas (Not Tested) Wood Wood burner stove (See remarks page) safety concerns**Material:** Masonry Metal (pre-fabricated) Metal insert**Miscellaneous:** Blower built-in Operates: Yes No **Damper operates:** Yes- living room No -where fireplaces sealed in home Open joints or cracks in firebrick/panels should be sealed Fireplace doors need repair**Damper Modified for Gas Operation:** Yes No Damper missing Pre-fab panels damaged/worn**Hearth Adequate:** Yes No **Mantle:** N/A Satisfactory Adequate Loose/missing**Physical Condition:** Satisfactory Marginal Poor- do not use fireplaces unless reopened and repaired by chimney contractor and certified for use & safety**STAIRS / STEPS / BALCONIES** Satisfactory Marginal Poor N/A**Handrail:** Satisfactory Marginal Poor Safety hazard Loose; secure properly**Risers/Treads:** Satisfactory Marginal Poor Risers/Treads uneven/unsafe**SMOKE / CARBON MONOXIDE DETECTORS** (See remarks page)**Present:** Smoke Detector: Yes No **Operates:** Yes No Not testedCO Detector: Yes No **Operates:** Yes No Not tested

Security systems, fire suppression and the like are not part of a home inspection (see contract). Follow up with the provider for these features in home to have them inspected or evaluated.

 Not tested; Should be performed by Local/State municipality prior to Occupancy.**ATTIC/STRUCTURE/FRAMING/INSULATION** N/A- no attic for this condo unit**GENERAL COMMENTS**

WINDOWS/FIREPLACES/HALL/ATTIC: There were window concerns throughout the home. There was observed vapors seals, leaking/water stains, dropping on their own (hand/finger hazards), canted/improperly installed (large gaps/not closing/drafts), etc. Have a window installer and carpenter or building contractor evaluate all windows and make repair & rule out concealed water damage. Ask Co-op who is responsible for exterior of windows (ex- framing, trim, flashings, etc.) is repairs needed on exterior. There is an old fireplace in hallway; sealed. There is a fireplace in living room with top mount damper on a pull chain. Recommend having a chimney contractor and the township inspect and advise on use and safety. Do not use the fireplace unless it is certified for use and all repairs/liners made for fire safety. There were a few chimneys in home; all chimneys should be inspected by chimney contractor. Chimneys not in use or unsafe should be properly terminated and sealed. It is recommended to remove exterior mounted chimney or remove below roofline if interior chimney(s) not in use or abandoned. Have the chimney contractor evaluate all chimney and advise on proper termination and repairs/liners on chimney/flues in use for fire/life safety. Have a chimney contractor and licensed plumber evaluate the chimney and appliances (boiler & hot water heater) and advise on all repairs, liners, etc.; fire/life/safety concerns. Ask Co-op management who is responsible for shared chimney repairs. See heating & plumbing comments.

CONCERNS:

1. Have a chimney contractor and licensed plumber evaluate the chimney and appliances (boiler & hot water heater) and advise on all repairs, liners, etc.; fire/life/safety concerns. Ask Co-op management who is responsible for shared chimney repairs. Have fireplace evaluated/repared before using; do not use until inspected and certified for fire/life/safety. Water stains observed around the chimneys in home or adjacent in closets/ceilings/walls; follow-up with Co-op for a roof /exterior inspection to determine all water sources & repairs.

This confidential report is prepared exclusively for Client on contract for them to rely on and not transferrable.

2. Have the chimney contractor evaluate all chimney and advise on proper termination and repairs/liners on chimney/flues in use for fire/life safety. Follow-up with Co-op to see how shared chimney/flue repairs/expenses are handled when repairs needed or discovered by an owner of one condo and affects another condo.
3. There were window concerns throughout the home. There was observed vapors seals, leaking/water stains, dropping on their own (hand/finger hazards), canted/improperly installed (large gaps/not closing/drafts), etc. Have a window installer and carpenter or building contractor evaluate all windows and make repair & rule out concealed water damage. Ask Co-op who is responsible for exterior of windows (ex- framing, trim, flashings, etc.) is repairs needed on exterior.

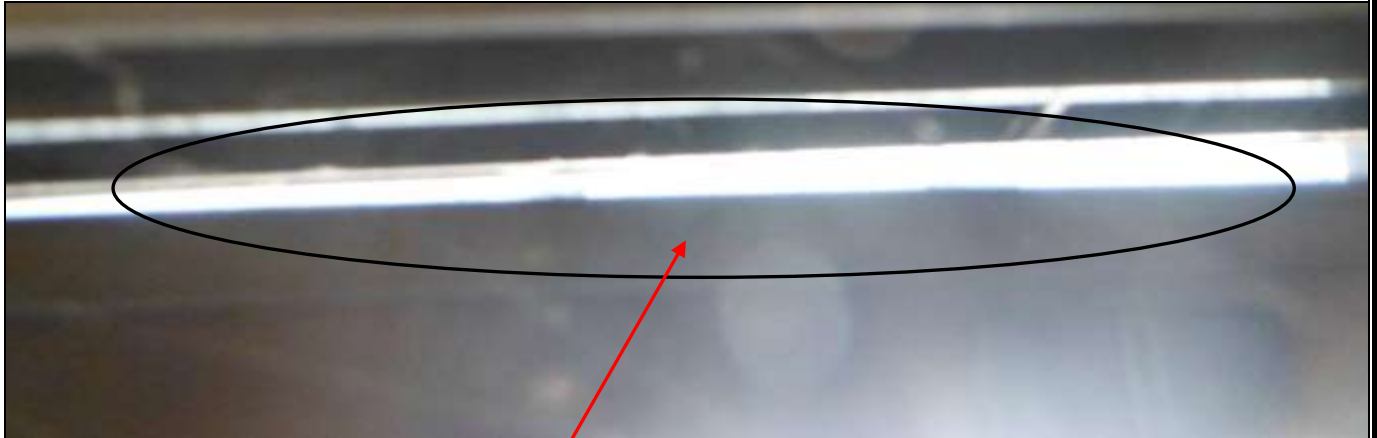


Figure 14 Window gaps, canted frames, and improper installation.



Figure 15 example of vapor seal breaks; have window installer Evaluate/repair and rule out any concealed damage by carpenter or building contractor.

BASEMENT – Common area *

STAIRS Common area- not owned by this condo & not inspected*
Condition: Satisfactory Marginal Poor Typical wear and tear Need repair
Handrail: Yes No **Condition:** Satisfactory Loose
Headway Over Stairs: Satisfactory Low clearance Safety hazard

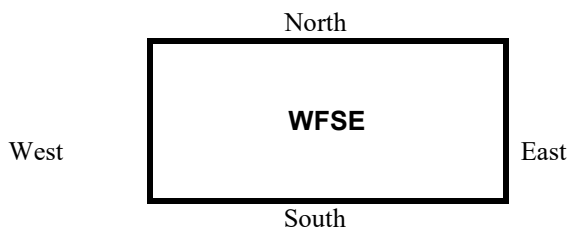
FOUNDATION **Condition:** Management’s or common space not part of inspection
Material: Brick Concrete block Fieldstone Poured concrete
Horizontal Cracks: Yes No Typical **Step Cracks:** Yes No Typical
Vertical Cracks: Yes No Typical **Covered Walls:** Yes No Typical
Movement Apparent: Yes No **Indication Of Moisture:** Yes No Fresh Old stains

Condition reported above reflects visible portion only

BASEMENT/CRAWL SPACE WALLS

Diagram indicates where wall not visible and type of covering:

P = Paneling
 D = Drywall
S = Storage
 W=Wet
 C = Crack(s)
 M = Monitor
E = Evaluate
F = Fire damage



FLOOR **Material:** Concrete Dirt/Gravel Not visible Other
Condition: Satisfactory Marginal Poor Typical cracks Large cracks Entire basement cluttered

Insulation Comments: All Crawl spaces & basements need to have proper vapor barrier(s), ventilation & insulation (between floor joists). Energy losses are not inspected or identified in a general inspection. Have an Energy audit performed on the home before closing to find areas that need improvement before closing. Contact your local Utility Company for information and Energy Audit contractors.

SEISMIC BOLTS N/A

BASEMENT DRAINAGE

Indication of moisture: Yes Efflorescence, water stains Fresh Old stains
 Environmental Hazards: Mold, etc. are Not part of a NJ Home Inspection (See Standards of Practice & Pre-Inspection Agreement)
 Basements are not intended for legal bedrooms or living spaces unless deemed by Local Township which requires Egress compliant windows among other requirements. Have township code official evaluate any basements for purpose other than mechanicals, electrical and utilities or laundry. Living in a basement may affect overall health and breathing.
Sump Pump: Yes No **Tested:** Yes No Working Not working Needs cleaning Not tested
Floor Drains: Yes No Not visible Efflorescence present Recommend dehumidifier

Note: Under certain unforeseen weather conditions, future moisture and water infiltration can occur even if a basement has never had moisture in the past. Observing proper grading, drainage, working gutter systems and sump pumps is imperative in helping keep a basement dry. It is strongly recommended to install a Water Management System if not already present to avoid wet or flooded basements as well as mold and structural damage.

GIRDERS / BEAMS / COLUMNS **Material:** Steel Wood Block Concrete Not visible
Condition: Satisfactory Marginal Poor Stained/rusted

JOISTS **Material:** Wood Steel Truss Not visible
Condition: Satisfactory Marginal Poor

(IF CHECKED) Wood destroying insect evidence was present: Sections of insulation/walls or ceilings must be removed to determine extent damage as per structural carpenter’s evaluation. Hidden damage possible. Recommend structural engineer/licensed contractor evaluate and licensed treatment company exterminate prior to closing.

SUB FLOOR

Indication of moisture stains/rotting ** Areas around shower stalls, etc., as viewed from basement or crawl space

GENERAL COMMENTS

BASEMENT (Common space, not part of inspection)* : The basement is common space; not sole ownership to this condo unit. The following were observations and incidental comments while in basement inspecting the boiler, hot water heater, electrical panel and water main for the condo unit on first floor.* The access panel to crawl was sealed up with masonry; should have access in case of plumbing, electrical repairs and to inspect for wood destroying insects. **There was observed fire damage on sills, joists and subflooring as well as structural repairs.** The entry door to basement was framed improperly. There was seepage; efflorescence, water stains, moisture stains, etc. The gutters, grading & drainage should be corrected to avoid water into basement which in turn will affect the building structure and attract wood destroying insects. There was carpenter ant frass observed in basement and should be treated by a licensed Pest Company. Follow-up with the Co-op to see all rules and responsibilities as an owner in the building and who is responsible for evaluating the basement, crawl, structural, etc. There was a large circular cement mound on floor near crawl; follow-up with Co-op to rule out a cistern or other cavity to ensure safety.

CONCERNS:

1. **Basement is not owned by this condo unit; not part of this first floor condo inspection.* There were incidental observations while in the basement inspecting the mechanicals and electrical panel. Follow-up with the Co-op to see who is responsible for evaluating/inspecting the basement, crawl, structure, wood destroying insects, **fire history & repairs**, improper door framing, roof, exterior, etc.**



Figure 16 Observed fire damage in basement in common areas; follow up with the Association for fire damage.

CRAWL SPACE * (Common space)

CRAWL SPACE Inaccessible Full crawlspace Combination basement/crawl space/slab
 Conditioned (heated/cooled): Yes No

ACCESS Exterior Interior hatch door Via basement – sealed up **No Access or Sealed ***
Inspected from: Access panel In the crawl space

FOUNDATION WALLS **Condition:** Satisfactory Marginal *Have evaluated* *Monitor*
 Concrete block Poured Stone
 Wood Brick Piers & columns
 Cracks Movement

FLOOR
 Concrete Gravel Dirt Other
 Typical cracks Large cracks

SEISMIC BOLTS
 N/A None visible Appear satisfactory Recommend evaluation

DRAINAGE
 Outside drain Sump pump: Yes No Operable: Yes No
 None apparent **Evidence of moisture damage:** Yes No **Recommend dehumidifier**

VENTILATION Wall vents Power vents None apparent/not visible

GIRDERS / BEAMS / COLUMNS Steel Wood Masonry Not visible
Condition: Satisfactory Marginal Poor

JOISTS **Material:** Wood Steel Truss Not visible
 2x8 2x10 2x12 Engineered I-Type *Sagging/altered joists/patched handyman*
Condition: Satisfactory Marginal Poor

(IF CHECKED) Wood destroying insect evidence was present: Sections of insulation/walls or ceilings must be removed to determine extent damage as per structural carpenter's evaluation. Hidden damage possible. Recommend structural engineer/licensed contractor evaluate and licensed treatment company exterminate prior to closing.

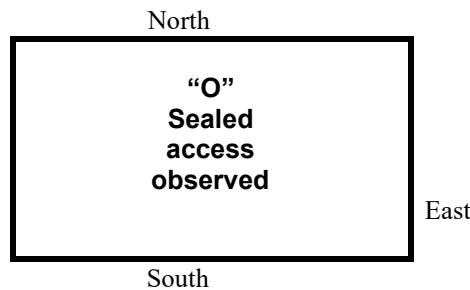
SUB FLOOR Not visible Wood Concrete Other

MOISTURE STAINS None Walls Sub floor Other Possible mold; testing recommended

INSULATION None **Type:** observation that the access was blocked or sealed*
Location: Walls Between floor joists All Crawl spaces & basements need to have proper vapor barrier(s), ventilation & insulation (between floor joists). Energy losses are not inspected or identified in a general inspection. Have an Energy audit performed on the home before closing to find areas that need improvement before closing. Contact your local Utility Company for information and Energy Audit contractors.

VAPOR BARRIER Yes No
 Kraft/foil face Plastic Other Not visible

BASEMENT/CRAWL SPACE WALLS
 Diagram indicates where wall not visible and type of covering:
 P = Paneling C = Crack(s)
 D = Drywall M = Monitor
 S = Storage E = Evaluate
O = Sealed access observed in basement*



GENERAL COMMENTS

CRAWL SPACE : The access to crawl in basement was bricked or cemented up; inaccessible. The basement and crawl are common areas or not owned by this first floor Co-op unit; not part of this home inspection.* The crawl should be accessible for many reasons; plumbing, electrical, termite inspections, etc. Follow-up with Co-op/management to make sure these areas are accessible to contractors performing work in home to units. Comments are incidental due to inspecting the mechanicals in basement for the first floor condo only.

PLUMBING

WATER SERVICE

Main Shut-off Location: basement front wall- not labeled (4 meters)

All home will have plumbing repairs/upgrades at some point- monitor plumbing

Water Entry Piping: Not visible Copper/Galv. Plastic* (PVC, CPVC, Polybutylene, PEX) Unknown

Visible Water Distribution Piping: Copper Galvanized Plastic* (PVC, CPVC, Polybutylene, PEX) Unknown

Condition: Satisfactory Marginal- ruts corrosion on piping/fitting/gate valve(s) Poor

Lead Other Than Solder Joints: Yes No Unknown Service entry

Functional Flow: Adequate Poor Water pressure over 80 psi; high

Pipes, Supply/Drain: Corroded Leaking Old gate valves Dissimilar metal

Drain/Waste/Vent Pipe: Copper Cast iron Galvanized PVC not visible

Condition: Satisfactory Marginal Poor **Cross connection:** Yes No

Support/Insulation: Type: ---

Traps Proper P-Type: N/A Yes No; some S-type or other P-traps recommended

Functional Drainage: Adequate Poor Recommend plumber evaluate

Interior Fuel Storage System: Yes No Leaking: Yes No

Gas Line: Copper Brass Black iron Stainless steel Flexible CSST (yellow) Not visible

Condition: Satisfactory Marginal Poor

NOTE: T-Valves, ball valves, gate valves or any shut off valves, are not tested in a New Jersey home inspection.

MAIN FUEL SHUT-OFF LOCATION FIXTURES IN HOME

Basement gas meter N/A

All plumbing and upgrades must be installed by licensed plumber and with permits when renovated.

Note: Fixtures in home are not inspected for product brand, quality, manufacturer, expected life or predicted failure. Fixtures are tested for adequate flow, adequate drainage and any noted leaks or corrosion at time of inspection. If brand and life service is a concern, obtain information and warranty from sellers before closing.

WELL PUMP

N/A Submersible

Well system and water testing not part of NJ home inspection. Well inspection and water testing should be conducted prior to closing.

SANITARY / GRINDER PUMP

N/A

WATER HEATER #1 N/A

Condition: Satisfactory drafting concerns**

Brand name: GE

Type: Gas Electric Oil Other

Unit Elevated: Yes No N/A Tank/Piping corroded/leaking

Capacity: 50 gallons Approximate age: mfg. 2008/~5+ yrs.

Combustion Air Venting Present: Yes No N/A Seismic restraints needed: Yes No N/A

Relief Valve: Yes No **Extension proper:** Yes No Missing Recommend repair

Vent Pipe: Drafting concerns- condensate drip marks on venting and boiler venting**

Satisfactory Pitch proper Improper Rusted Recommend repair

WATER SOFTENER

(Unit not evaluated) N/A

NOTE: Homes with hard water will often need a water softener system to avoid damaging mineral buildup or corrosion to plumbing supply lines, drains and fixtures. Confer with a water softener company and plumber if there is hard water in the home. Testing for hard water is not part of an inspection. If a home is left vacant for a period of time, it can clog fixtures resulting in loss of flow, hot or cold water. Toilets, bathrooms, washers, dishwashers, hot water heaters or any other appliance in a home can become damaged or fail because of hard water (calcium or mineral build-up) at any time even after an inspection. Get the water tested by a water softener company and fixtures evaluated by a licensed plumber before closing. Older homes can also have rusty water from street pipes or connections and iron in plumbing pipes such galvanized pipes. These can corrode and rust from inside out and cause leaks, cracks and clogs. Have plumber upgrade older plumber in home. Plumbing code or any other code inspection in NOT performed in a general home inspection. Seek out a licensed plumber or township code officer for that type of inspection.

GENERAL COMMENTS

PLUMBING: The hot water heaters were not labeled in basement. It appears the GE 50gal goes to the first floor condo; verify and mark units in basement. The hot water heaters and boilers for the first floor and basement condos use share the same flue; condensate drip marks on all appliances and venting. Have a chimney contractor and licensed plumber evaluate the chimney and appliances (boiler & hot water heater) and advise on all repairs, liners, etc.; fire/life/safety concerns. Ask Co-op management who is responsible for shared chimney repairs. There was leaking on kitchen sink drain basket/drains, drain assembly and water supply lines were wrapped in foil & stained. The drain in main bathroom was installed with flexible piping; tend to leak, clog and considered handyman or improper. There was observed mineral or calcium build-up on faucets, fixture or plumbing in home; indicative of hard water. Homes with hard water will often need a water softener system to avoid damaging mineral buildup or corrosion to plumbing supply lines, drains and fixtures. Confer with a water softener company and plumber if there is hard water in the home. Testing for hard water is not part of an inspection. If a home is left vacant for a period of time, it can clog fixtures resulting in loss of flow, hot or cold water. Toilets, bathrooms, washers, dishwashers, hot water heaters or any other appliance in a home can become damaged or fail because of hard water (calcium or mineral build-up) at any time even after an inspection. Recommend testing water for hardness. Older homes can also have rusty water from street pipes or connections and iron in plumbing pipes such galvanized pipes. These can corrode and rust from inside out and cause leaks, cracks and clogs. All homes will need plumbing repairs (leaks, clogs, corrosion, upgrades, repairs, etc.) at any time in the life of the home. Plan and budget for these repairs and upgrades. Only a licensed plumber should make these repairs. A plumber should evaluate older gate valves, piping, fittings, etc. and advise on upgrades where needed in home to avoid plumbing clogs, leaks or back-ups. Consider water main and sewer main line insurance

CONCERNS:

1. **There was leaking on kitchen sink drain basket/drains, drain assembly and water supply lines were wrapped in foil & stained. The drain in main bathroom was installed with flexible piping; tend to leak, clog and considered handyman or improper. Have a licensed plumber evaluate/repair plumbing.**

HEATING**HEATING SYSTEM - UNIT #1**Location: **basement***(See remarks page)***BOILER SYSTEM** N/A

Brand Name: **Crown** Approximate age: **15+** year(s)-old **Poorly maintained- Safety/drafting concerns**
Carbon Monoxide: N/A Detected at Plenum/Register Not tested
CO Test: Yes No **Combustion Air Venting Present:** Yes No N/A
Energy Source: Gas LP **Oil*** Electric
Distribution: Hot water Baseboard Steam Radiator
Circulator: Pump Gravity Multiple zones
Controls: Temp/pressure gauge exist: Yes No **Operating:** Yes No
Emergency shutoff: Disconnect: Yes No **Combustion Air Venting Present:** Yes No N/A
Relief valve: Yes No Missing Extension proper: Yes No
Operated: **When turned on by thermostat:** Fired Did not fire
Operation: Marginal: Yes, poorly maintained **Drafting concerns****

Recommend HVAC technician examine yearly, obtain township code inspections for Fire and HVAC sub codes prior to closing. The inspection is not required to determine heat supply adequacy or distribution balance for the home or building. Have an HVAC contractor or boiler contractor evaluate the adequacy and required size needed before closing.

Recommend testing prior to **closing**

OTHER SYSTEMS N/A Electric baseboard Radiant ceiling cable**GENERAL COMMENTS**

HEATING: The first floor and basement condo units share the same flue for the boilers and the hot water heaters. There was heavy condensate residue on all venting and appliances; drafting concerns. Recommend a chimney contractor evaluate the chimney & flues and advise on all repairs, liners, etc. for fire/life safety. The boiler was very old and no visible maintenance or service tags. Units had soot, rust, leaking air vent, corrosion and condensate residue; poorly maintained/safety concern. Follow-up with Co-op to see who is responsible for chimney/flue repairs, liners, etc. and protocol when the chimney appliance is shared by another condo unit. Recommend a boiler contractor or qualified plumber evaluate the boiler, venting and service the boiler along with the chimney inspection. Rule out any buried tanks on property due to age of home before closing. If no township permits for removed tank(s) or documentation, recommend a property tank scan to be certain there are no buried oil tanks.

CONCERNS:

1. **Have a chimney contractor and licensed plumber evaluate the boiler, venting/flue and advise on all repairs and service/maintenance; poorly maintained/safety concerns. Plan and budget for a new boiler due to age of unit.**
2. **Follow-up with Co-op to see who is responsible for chimney/flue repairs, liners, etc. and protocol when the chimney appliance is shared by another condo unit.**
3. **Rule out any possibility of a buried oil tank on property before closing to be certain no tanks on property. If lack of documentation, recommend a property tank sweep. Check with township for removed tanks and permits.**



Figure 17 White condensate residue; drafting/safety concerns. Rust, leaking air vent, soot, etc.; poorly maintained boiler. Have a boiler contractor service and make repairs; boiler near or past expected life.



Figure 6 Poorly maintained boiler; have a boiler evaluate boiler and advise on repairs/replacement.

COOLING

COOLING SYSTEM – UNIT #1

Central system Wall Unit Location: N/A Age: --- yrs.

Energy Source: Electric Gas Water Other

Unit Type: Air cooled Water cooled Gas chiller Geothermal Heat pump

Evaporator Coil: Satisfactory Not visible Needs cleaning Damaged

Refrigerant lines: *Leak* *Damage* *Insulation missing* Satisfactory

Condensate Line/Drain: To exterior To pump Floor drain Other

Temperature Differential : Unit 1 ??? °F Unit 2 ??? °F Unit 3 ??? °F Unit 4 ??? °F Unit 5 ??? °F

Difference in temperature (split) should be 15-22° Fahrenheit (*See remarks page*)

Compressor Condition: Satisfactory Marginal Poor Rusted Damaged

Operation: Satisfactory: Yes No *Not operated due to exterior temperature*

Recommend HVAC technician examine/clean/service yearly

Note: If present, through wall and window A/C units produce moisture and may potentially leak into interior walls and window openings. This moisture can cause damage to adjacent structural members. The damage is often not visible and can go undetected unless the A/C unit(s), wall coverings, flooring and siding are removed. Such removal is not feasible during a home inspection and therefore is limited or not possible to see inside of walls. Further investigation is always recommended to rule out water or condensation damage. Units should be removed periodically to inspect inside of walls.

GENERAL COMMENTS

COOLING : There were some window A/C unit(s) in window; not recommended to keep in windows over winter or when not in season; drafty and energy concerns/heat loss. Window A/C units produce moisture and may potentially leak into interior walls and window openings. This moisture can cause damage to adjacent structural members; have these removed and check that they are not leaking periodically.

ELECTRICAL

MAIN PANEL Location: **basement** Condition: Satisfactory Marginal 2 spares
Adequate Clearance to Panel: Yes No **Amperage:** 50 Volts 120/240 Breakers Fuses
Appears Grounded: Yes No Not visible
G.F.C.I. present: Yes No **Operative:** Yes No
A.F.C.I. present: Yes No **Operative:** Yes No
MAIN WIRE: Copper Aluminum Copper clad aluminum Not visible
Condition: Satisfactory Poor **Federal Pacific Panel Stab Lok® (See remarks page)***
Predominant BRANCH WIRE: Copper Aluminum* Not visible- where finished
Condition: Satisfactory Poor **Recommend electrician evaluate/repair***
 Romex BX cable not visible where finished
 unknown if Knob & tube - possible in a home of this age- check with seller for history of electrical upgrades/not visible or cannot be confirmed/inaccessible or finished rooms**
 Read **REMARKS** addendum to report- "tripping breakers"

SUB PANEL(S) None apparent Breakers Fuses

ELECTRICAL FIXTURES

A representative number of installed lighting fixtures, switches, and receptacles located inside the house, garage, and exterior walls were tested and found to be:

Condition: Satisfactory **Marginal- loose, broken** Poor Not accessible, clutter, furniture
 Open grounds Reverse polarity GFCIs not operating
 Solid conductor aluminum branch wiring circuits* (See remarks page)
 Ungrounded 3-prong outlets **Recommend electrician evaluate/repair***

GENERAL COMMENTS

ELECTRICAL: Have a licensed electrician repair broken or loose outlets. Recommend adding more power where needed. Each family has different electrical requirements or needs. The panel is only 50 amps and if more power is needed, discuss needs with electrician and have added. Do not use extension cords, multiplier adapters or power strips to add more power; fire safety concern. If a breaker or circuit is tripped more than once, it is recommended to have an electrician evaluate circuits and have items separated by a licensed electrician. Items such a sump pumps, garage door openers, A/C units, stoves refrigerators or other heavy draw appliances should be on separate dedicated circuits.

CONCERNS:

1. **Have a licensed electrician repair broken switch or loose outlets for safety. The home had very few circuits. If breakers trip more than once, it is recommended to have an electrician evaluate circuits and have items separated, or add more power where needed.**